King County Department of Assessments

Executive Summary Report
Characteristics Based Market Adjustment for 1999 Assessment Roll

Area Name / Number: Inglewood and Juanita / 37
Last Physical Inspection: 1998

Sales - Improved Analysis Summary:
Number of Sales: 1,027
Range of Sale Dates: 1/97 through 12/98

Sales - Improved Valuation Change Summary:

	Land	Imps	Total	Sale Price	Ratio	COV
1998 Value	$87,300	$134,600	$221,900	$250,200	88.7%	11.39%
1999 Value	$96,200	$148,900	$245,100	$250,200	98.0%	11.06%
Change	+$8,900	+$14,300	+$23,200	N/A	+9.3%	-0.33%*
%Change	+10.2%	+10.6%	+10.5%	N/A	+10.5%	-2.90%*

*COV is a measure of uniformity, the lower the number, the better the uniformity. The negative figures of –0.33% and –2.90% actually indicate an improvement.

Sales used in Analysis: All sales of single family residences on residential lots that appeared to be market sales were considered for this analysis. Multi-parcel sales, multi-building sales, mobile home sales, sales of new construction where less than a fully complete house was assessed for 1998, and sales where the 1998 assessed improvements value was $10,000 or less were also excluded.

Population - Improved Parcel Summary Data:

	Land	Imps	Total
1998 Value	$95,700	$130,600	$226,300
1999 Value	$105,800	$146,200	$252,000
%Change	+10.6%	+11.9%	+11.4%

Number of improved single family home parcels in the population: 7,628.

The population summary excludes parcels with multiple buildings, mobile homes, and new construction where less than a fully complete house was assessed for 1998. Also, parcels with a 1998 assessed improvements value of $10,000 or less were excluded.
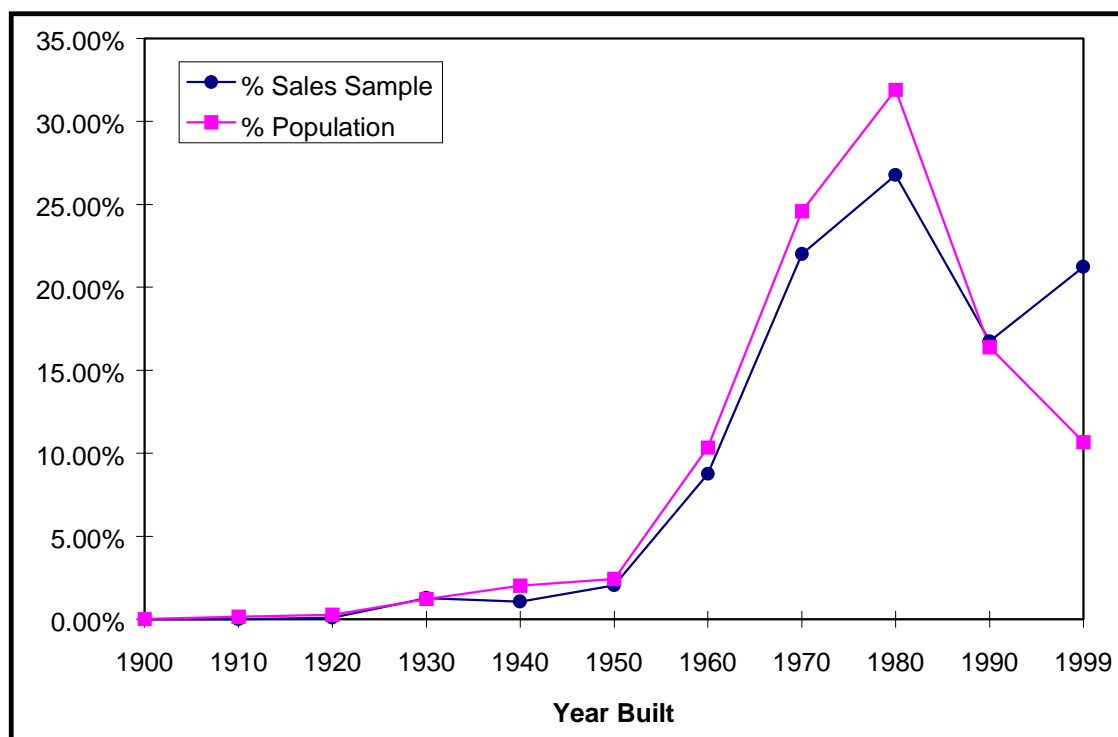
Summary of Findings: The analysis for this area consisted of a general review of applicable characteristics such as grade, age, condition, stories, living areas, views, waterfront, lot size, land problems and neighborhoods. The results showed that including variables for views, lot size, building grade and number of stories improved uniformity of assessments throughout the area. For instance, 1998 assessment ratios (assessed value/sales price) of parcels larger than 30,000 square feet were significantly lower than the average, and the formula adjusted the assessed values of these parcels upward. Similarly, parcels with excellent views of Lake Washington or with grade 6, 10 or 11 houses required upward adjustments. Conversely, the average assessment ratios of parcels with two-story houses or with grade 12 or 13 houses were higher than average, and a downward adjustment was applied. The formula adjusted for these differences, thus improving equalization.

Mobile Home Analysis: There are 38 parcels with real-property mobile homes in Area 37, and 5 sales among them. The assessed values of the parcels with mobile homes were adjusted upward 10.5%.

Since values described in this report improve assessment levels, uniformity and equity, we recommend posting them for the 1999 assessment roll.

Sales Sample				Population		
Year Built	Frequency	% Sales Sample		Year Built	Frequency	% Population
1900	0	0.00%		1900	1	0.01%
1910	0	0.00%		1910	12	0.16%
1920	1	0.10%		1920	21	0.28%
1930	13	1.27%		1930	93	1.22%
1940	11	1.07%		1940	155	2.03%
1950	21	2.04%		1950	185	2.43%
1960	90	8.76%		1960	789	10.34%
1970	226	22.01%		1970	1875	24.58%
1980	275	26.78%		1980	2433	31.90%
1990	172	16.75%		1990	1250	16.39%
1999	218	21.23%		1999	814	10.67%
	1027				7628	

The sales sample is representative of the population with respect to year built

Sales Sample				Population		
Above Gr Living	Frequency	% Sales Sample		Above Gr Living	Frequency	% Population
500	0	0.00%		500	2	0.03%
1000	66	6.43%		1000	531	6.96%
1500	472	45.96%		1500	3577	46.89%
2000	239	23.27%		2000	1924	25.22%
2500	161	15.68%		2500	950	12.45%
3000	63	6.13%		3000	396	5.19%
3500	12	1.17%		3500	141	1.85%
4000	5	0.49%		4000	58	0.76%
4500	6	0.58%		4500	36	0.47%
	1027				7628	
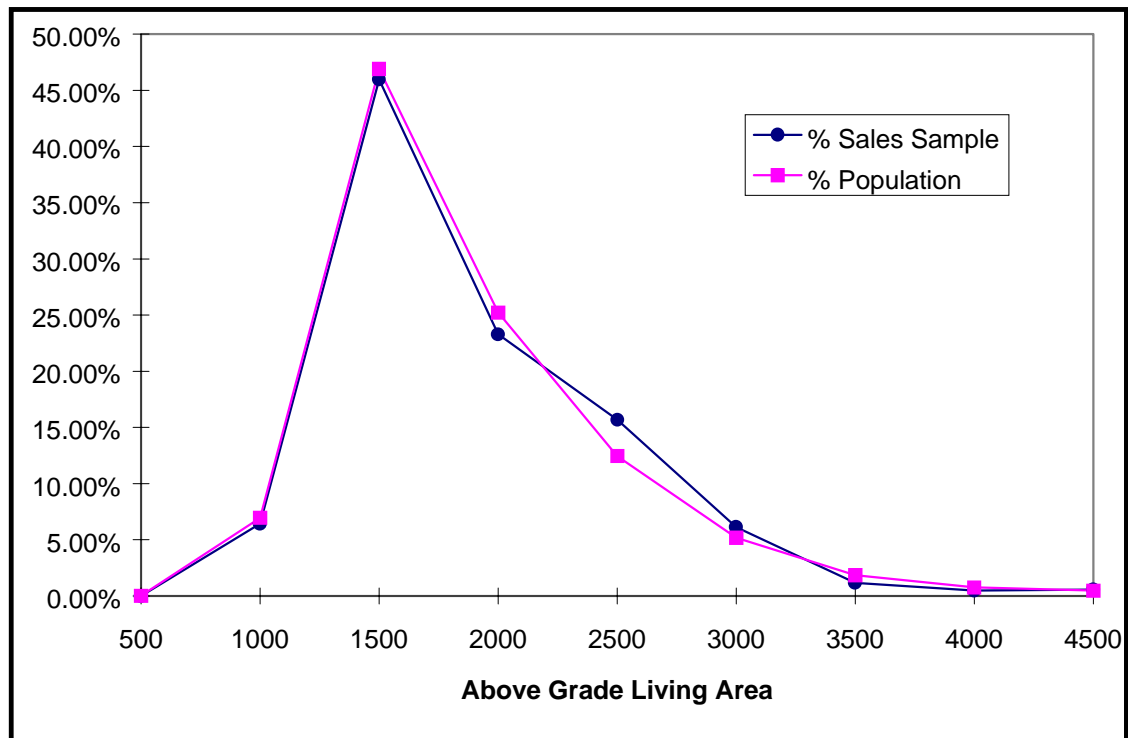
The sales sample is representative of the population with respect to above grade living area

Sales Sample

Grade	Frequency	% Sales Sample
3	0	0.00%
4	0	0.00%
5	5	0.49%
6	46	4.48%
7	549	53.46%
8	273	26.58%
9	98	9.54%
10	36	3.51%
11	11	1.07%
12	8	0.78%
13	1	0.10%
	1027	

Population

Grade	Frequency	% Population
3	1	0.01%
4	8	0.10%
5	64	0.84%
6	385	5.05%
7	4123	54.05%
8	2109	27.65%
9	581	7.62%
10	224	2.94%
11	87	1.14%
12	40	0.52%
13	6	0.08%
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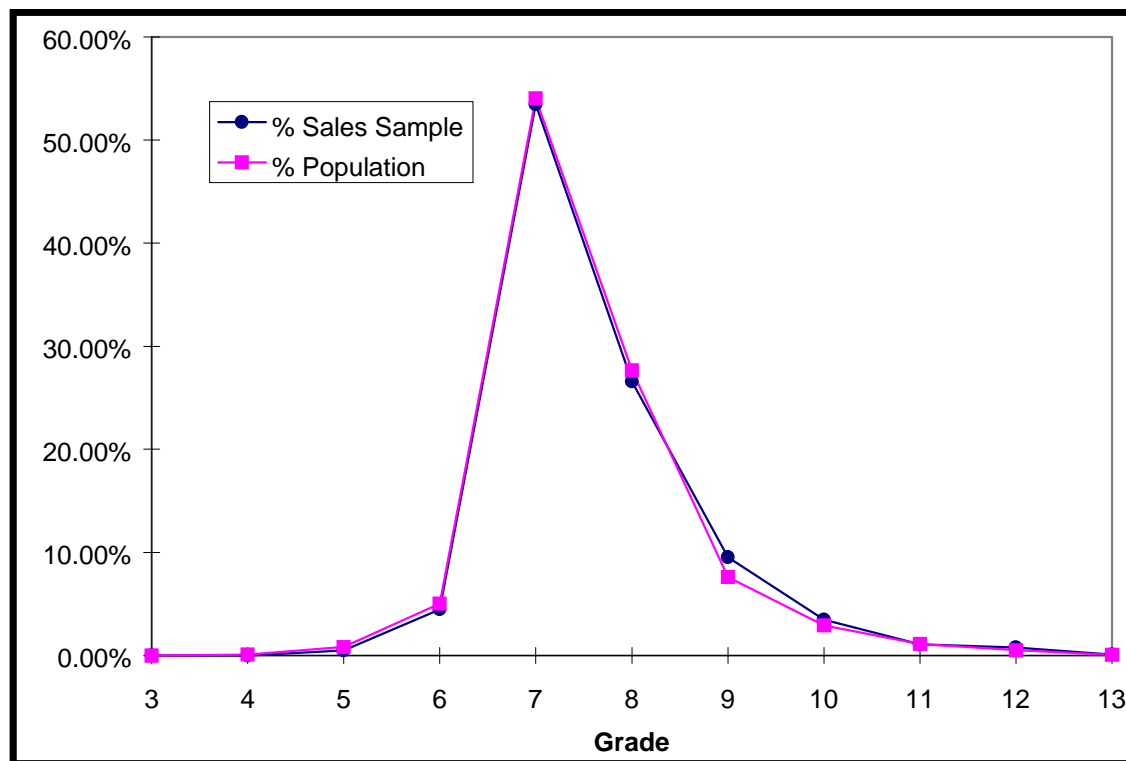
The sales sample is representative of the population with respect to grade.

1998 Mean Assessed Values per Square Foot by Year Built

Year Built	Imps Portion	Land Portion
1900-1959	141.67	75.44
1960-1969	137.70	59.52
1970-1979	138.45	54.12
1980-1989	141.21	54.86
1990-1999	123.07	39.65

Legend: Land Portion | Imps Portion | SP/SQFT

1999 Mean Assessed Values per Square Foot by Year Built

Year Built	Imps Portion	Land Portion
1900-1959	157.41	83.17
1960-1969	153.03	65.49
1970-1979	153.01	59.40
1980-1989	155.98	60.44
1990-1999	134.35	43.62

Legend: Land Portion | Imps Portion | SP/SQFT

These charts show a significant improvement in assessment level and uniformity by year built as a result of applying the 1999 recommended values.

The values shown in the improvement portion of the chart represent the total value for land and improvements.

1998 Mean Assessed Values per Square Foot by Above Grade Living Area

Living Area	Land Portion	Imps Portion Total
0-1100	66.85	152.94
1101-1500	55.36	135.81
1501-2000	55.20	132.44
2001-2500	45.63	122.23
2501-4640	45.07	137.70

Legend: Land Portion, Imps Portion, SP/SQFT

1999 Mean Assessed Values per Square Foot by Above Grade Living Area

Living Area	Land Portion	Imps Portion Total
0-1100	73.23	169.66
1101-1500	60.73	149.91
1501-2000	60.91	145.67
2001-2500	50.37	133.83
2501-4640	50.07	154.64

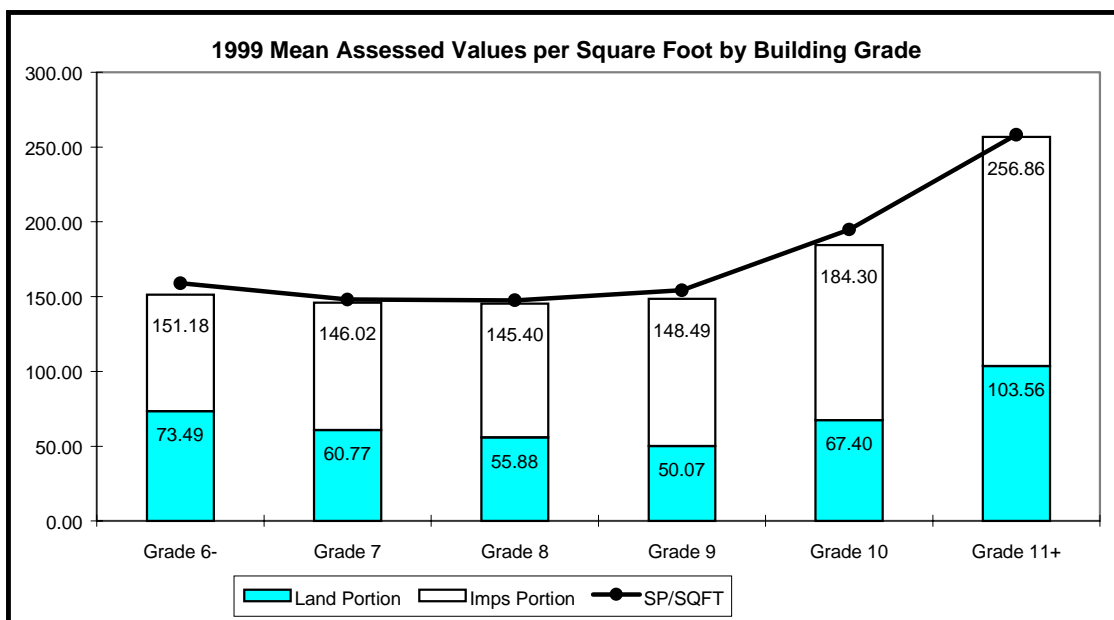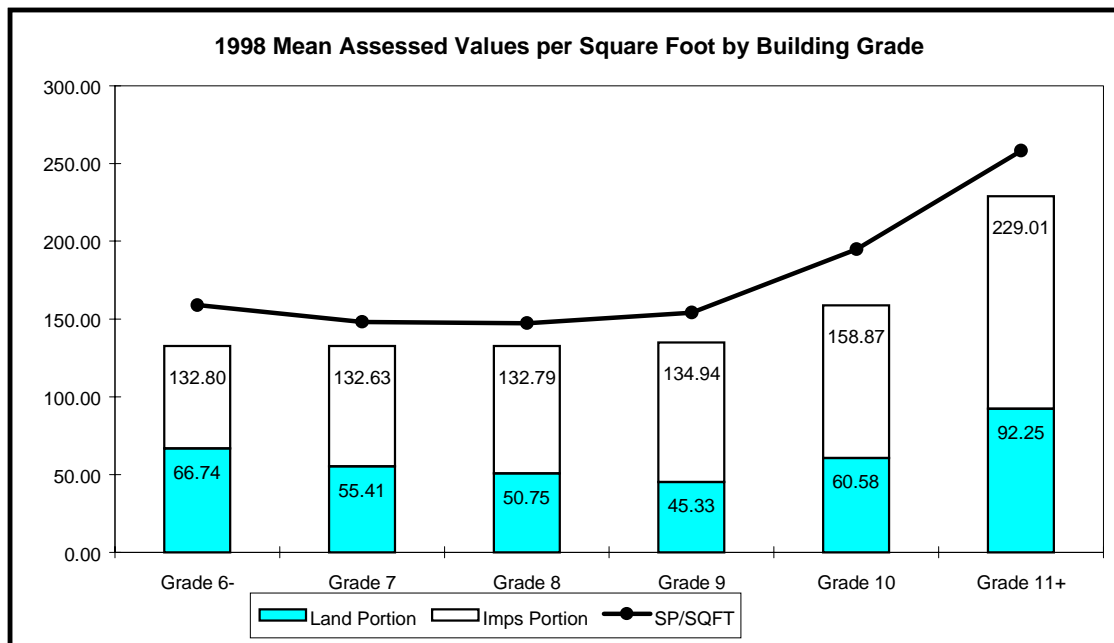Legend: Land Portion, Imps Portion, SP/SQFT
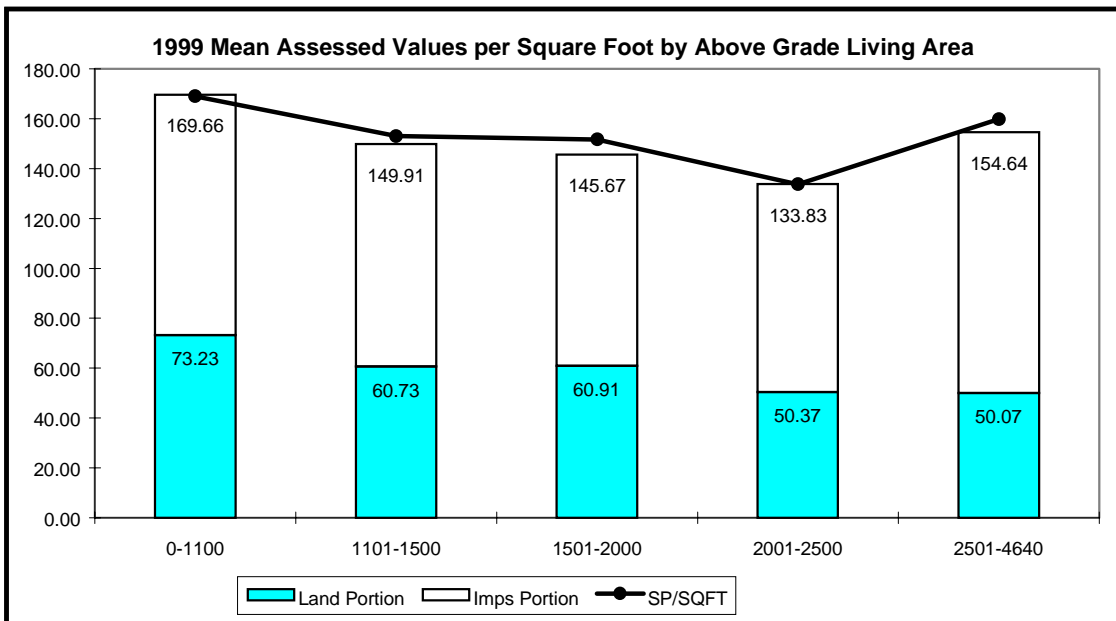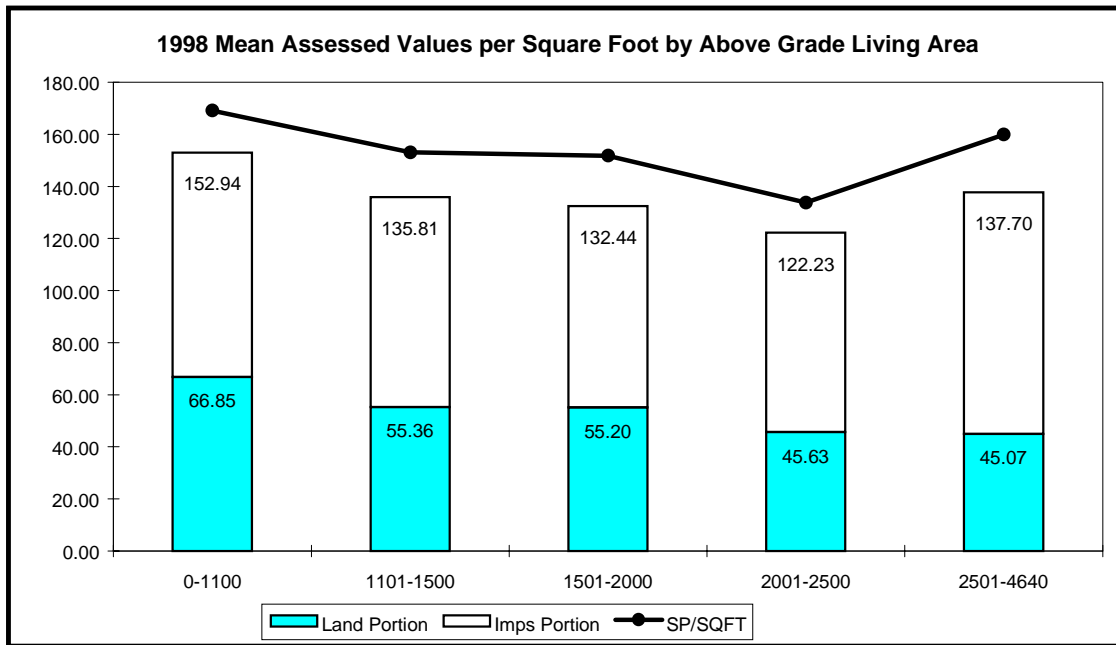
These charts show a significant improvement in assessment level and uniformity by above grade living area as a result of applying the 1999 recommended values.

The values shown in the improvement portion of the chart represent the total value for land and improvements.

1998 Mean Assessed Values per Square Foot by Building Grade

Grade	Land Portion	Imps Portion (total)
Grade 6-	66.74	132.80
Grade 7	55.41	132.63
Grade 8	50.75	132.79
Grade 9	45.33	134.94
Grade 10	60.58	158.87
Grade 11+	92.25	229.01

Legend: Land Portion, Imps Portion, SP/SQFT

1999 Mean Assessed Values per Square Foot by Building Grade

Grade	Land Portion	Imps Portion (total)
Grade 6-	73.49	151.18
Grade 7	60.77	146.02
Grade 8	55.88	145.40
Grade 9	50.07	148.49
Grade 10	67.40	184.30
Grade 11+	103.56	256.86

Legend: Land Portion, Imps Portion, SP/SQFT

These charts show a significant improvement in assessment level and uniformity by building grade as a result of applying the 1999 recommended values.

The values shown in the improvement portion of the chart represent the total value for land and improvements.